

North Shore North

Overview

Unless otherwise noted below, all standards in the City of Rowlett Form Based Code will govern. The Framework Plan is based on the Realize Rowlett 2020 Comprehensive Plan and will provide guidance and direction for the application of design standards and principles in approving final Regulating Plans/Phased Development Plans, Development Plans and permits.

Intent. It is intended that North Shore be the City of Rowlett’s major employment hub. This is achieved by permitting an integrated mix of uses and building types in order to facilitate and support an employment base. High quality standards, design parameters and preservation of natural features provide an amenity package and adjacency predictability for entities developing within North Shore. In the future, a more detailed amenity package will be defined for this area to truly create a live, work and play environment. (See Realize Rowlett 2020 Comprehensive Plan.)

Districts

North Shore North is comprised of three Form Based Districts (“FB Districts”) – Rural Neighborhood, New Neighborhood and Urban Neighborhood. – as set out in the attached Framework Plan. These FB Districts are modified as set out below.

General

Non-Conformity. Within North Shore, the following Structure Non-Conformity standard will not be applicable:

FBC 1.6.3.a.3. Any expansion of the building footprint must also be accompanied with an upgrade to the street tree and sidewalk standards in effect at the time under this Chapter. Where this is not possible or deemed a hardship, then the street tree and sidewalk improvements will be escrowed to the City to be installed by the City at a later date.

Landmarks/Amenities. Landmark buildings and amenities within the North Shore (North) area are absolutely essential in promoting this area as a live, work and play environment. Elements such as a community center and access to schools, grocery stores and other services nearby this residential area are key to this residential area and to attracting employers and work force to the North Shore North area.

Natural Features. Preservation of green belts and water bodies are important to attracting employers. These natural assets are highly desired for residential communities.

Streets. A network of Primary and Secondary Streets has been designated on the Framework Plan: Special Requirements.

Rural Neighborhood

General Boundaries. The Rural Neighborhood FB Districts are generally bounded by the city limit to the north, President George Bush Turnpike to the east, an Urban Neighborhood FB District to the south, and the New Neighborhood FB District to the west. (See Framework Plan.)

Building Types. All Rural Neighborhood Building Types in the Form Based Code are allowed in this area.

Building Height. The maximum building height will be 2 ½ stories.

Transition with Rural Neighborhood. It is intended that the Rural Estate Building Type will occur along areas designated “Transition with Rural Neighborhood” as designated on the Framework Plan: Special Requirements. This 200-foot wide transition designation sets the following parameters for lots that immediately abut areas zoned Single Family under the RDC (SF-5 thru SF-40), which exist prior to adoption of the Form Based Code.

- The maximum principal building height will be 3 stories.
- The maximum accessory building height will be 2 stories.
- The rear setback will be 25 feet.

Streets. The street system is intended to facilitate circulation for pedestrians, bicycles, vehicles and emergency services. Streets should be rural in character with swales rather than rolled curbs, and may employ a clustering of trees rather than a formal street tree line.

Open Space. It is intended that existing tree masses and ponds will be preserved in parks and greenways.

New Neighborhood

General Boundaries. The New Neighborhood FB District is bounded by primarily the Rural Residential FB District to the east and north, Hickox Road to the south, and the city limit and existing New Neighborhood to the west. (See Framework Plan.)

Building Types. All New Neighborhood Building Types in the Form Based Code are allowed in this area.

Building Height. The maximum building height will be 2 ½ stories.

Streets. The street system is intended to facilitate circulation for pedestrians, bicycles, vehicles and emergency services. Streets are fully interconnected, not gated and designed with a formal tree line for shade, wide sidewalks and rolled curbs.

Open Space. It is intended that centralized open space be employed to generate a sense of identity, image and value creation within New Neighborhood developments. These open spaces can provide for neighborhood gatherings and recreation, and must be fronted by residences or community buildings. Connecting Trails may also be considered as part of the open space requirement.

Landmarks/Amenities. The Garland Independent School District site and the Sacred Heart Church site, may be considered to have landmark buildings.

Urban Neighborhood

General Boundaries. The Urban Neighborhood FB District occurs in two areas:

1. Adjacent to the north city limit line along Merritt Road and west of Harmony Hills; and
2. Along the north side of Hickox Road east and west of Merritt Road.

Building Types. All Urban Neighborhood Building Types in the Form Based Code are allowed in this area.

Building Height. The maximum building height will be 4 stories.

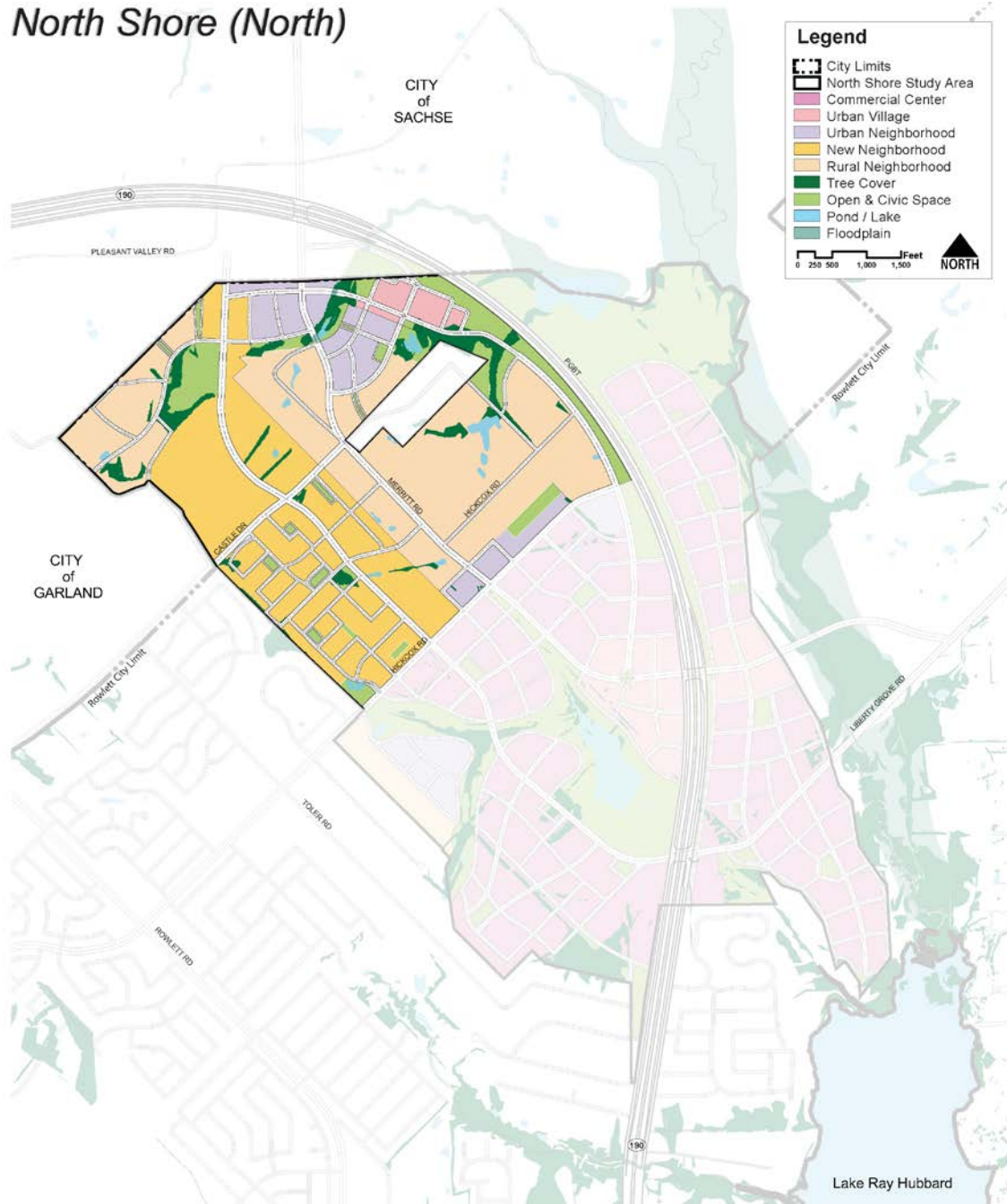
Streets. The street system is intended to facilitate circulation for pedestrians, bicycles, vehicles and emergency services. Streets are fully interconnected, not gated and designed with a formal tree line for shade, wide sidewalks and curbs.

Open Space. It is intended that centralized open space be employed to generate a sense of identity, image and value creation within New Neighborhood developments. These open spaces will be improved for use as neighborhood gatherings and recreation.

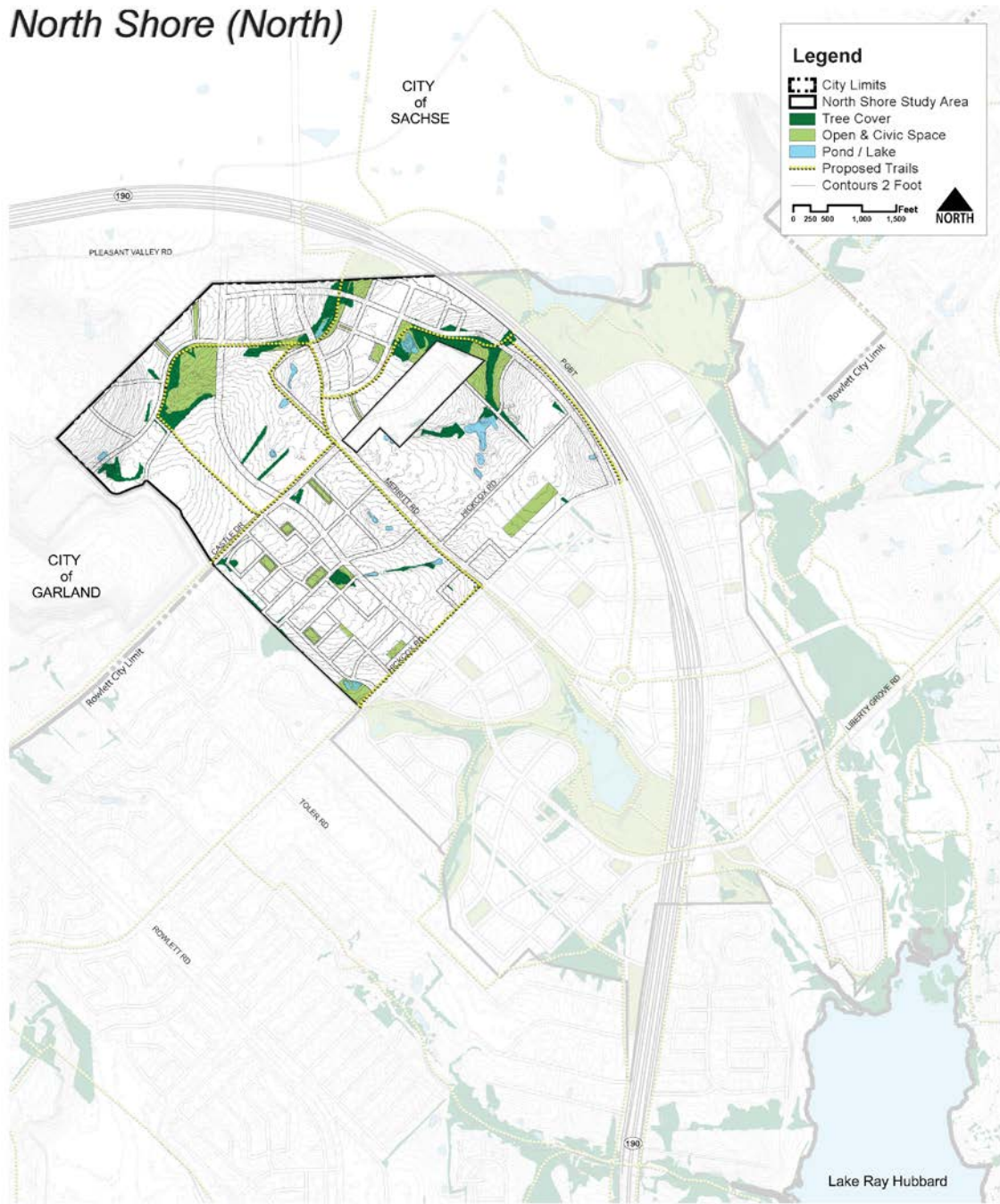
Attachments

1. Framework Plan – the Framework Plan is comprised of the following five (5) diagrams.
 - a. Form Based District Allocation
 - b. Open Space and Trails
 - c. Special Requirements
 - d. Street Classifications
 - e. Zoning Exhibit
2. Street Cross Sections
3. Transition Sections

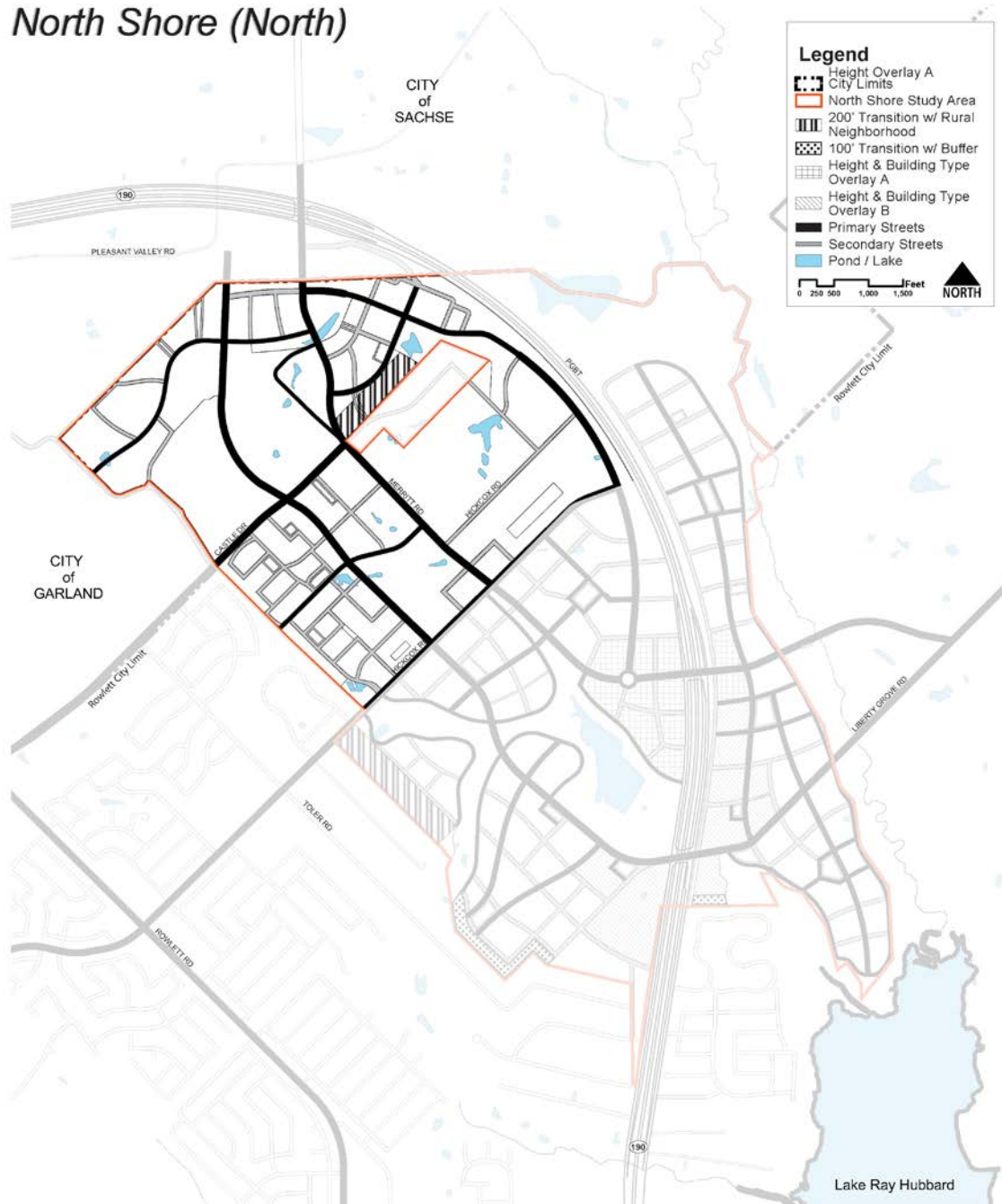
Form Based District Allocation North Shore (North)



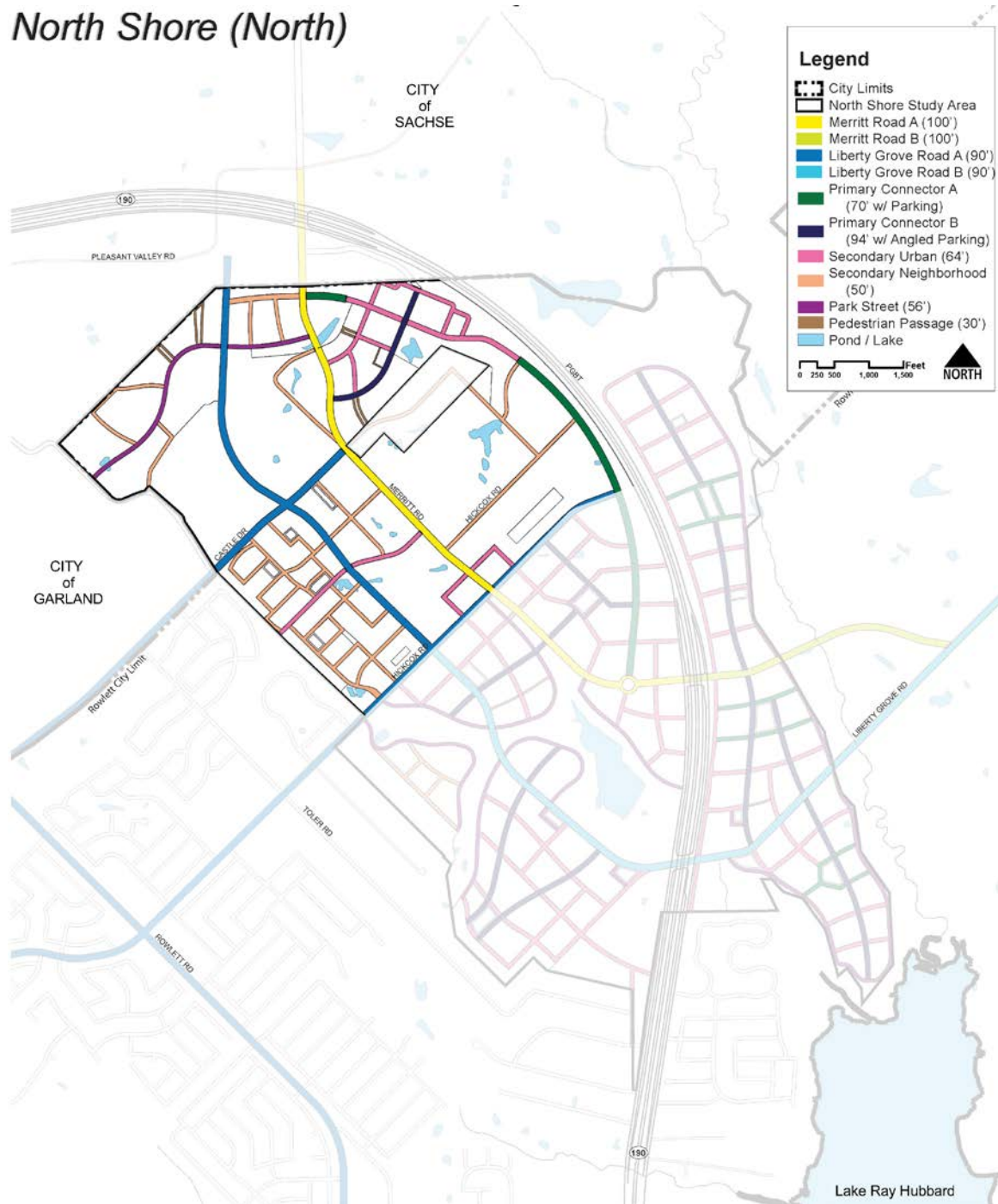
Open Space and Trails North Shore (North)



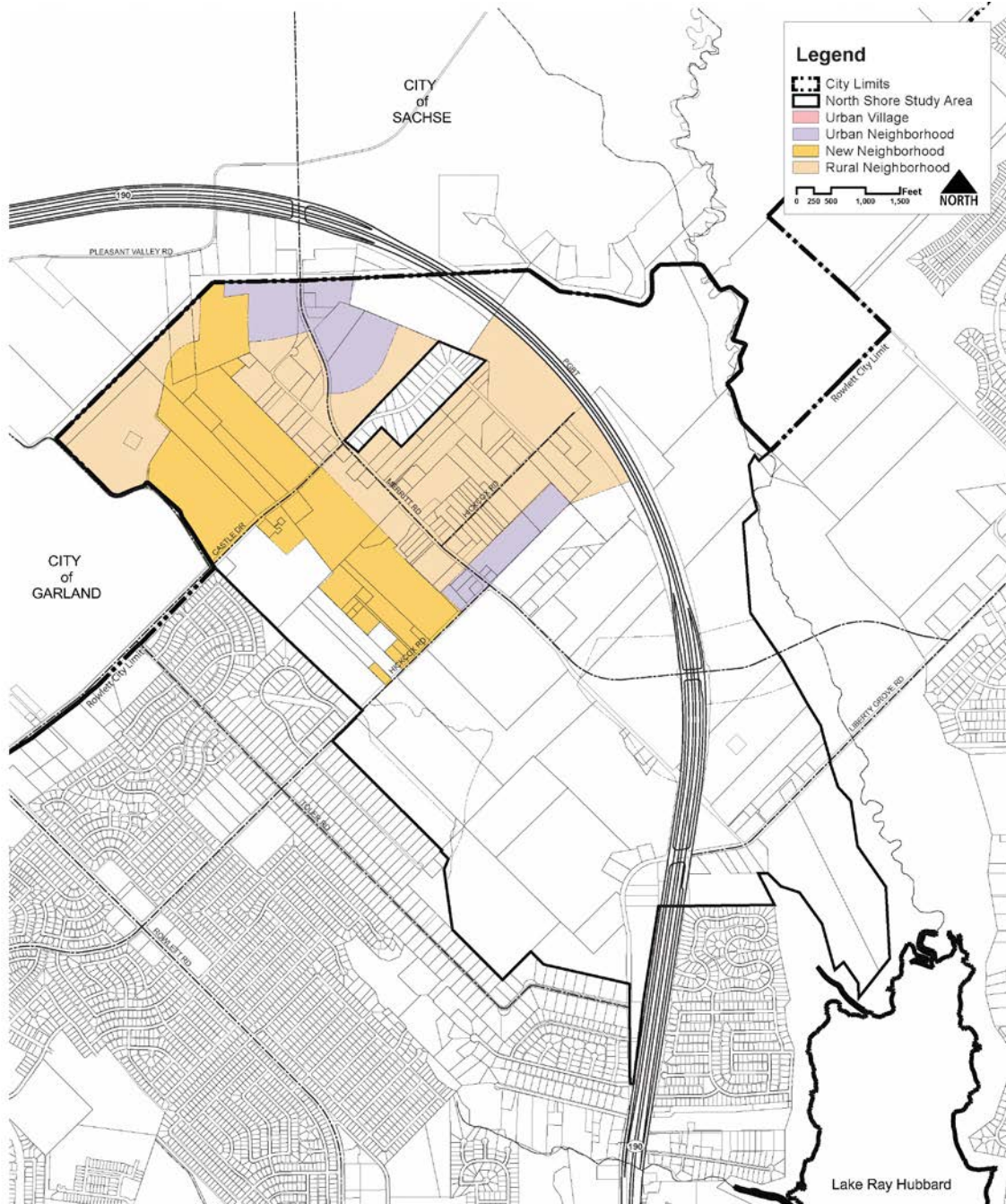
Special Requirements North Shore (North)



Street Classification North Shore (North)



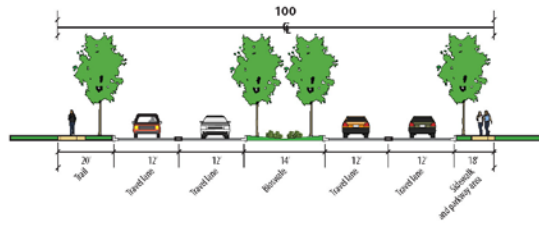
Zoning Exhibit



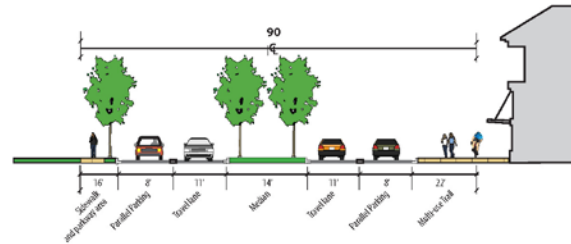
Street Cross Sections

North Shore Streets (North)

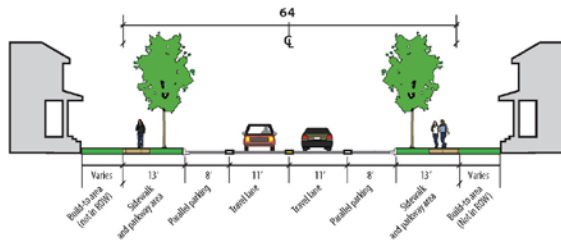
Merrit Road A



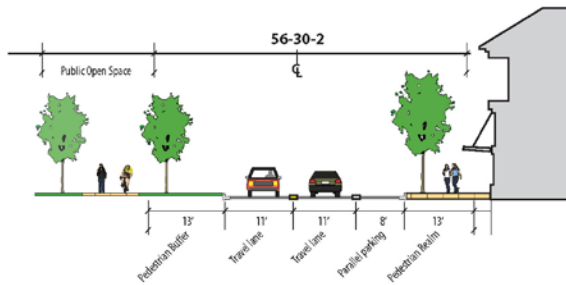
Liberty Grove Road A



Primary Connector A



Park Street

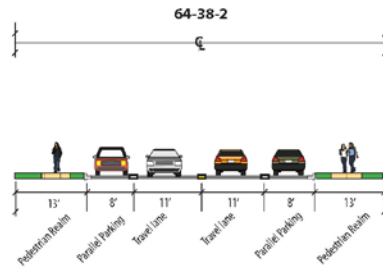


Street Cross Sections

North Shore Streets (North)

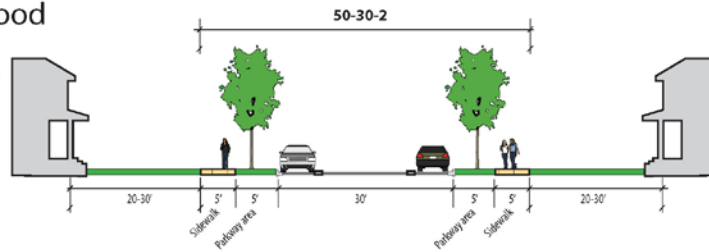
Secondary Urban

*May be interchanged with Urban Local A and Urban Local B.



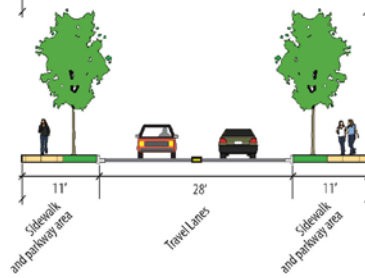
Secondary Neighborhood

*May be interchanged with neighborhood streets appropriate for Urban Neighborhood, New Neighborhood and Rural Residential

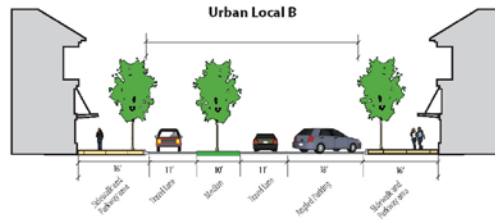


Urban Local A

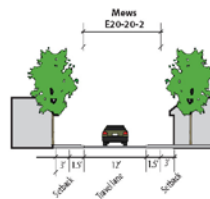
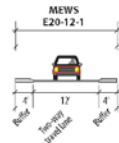
D50-28-2



Urban Local B

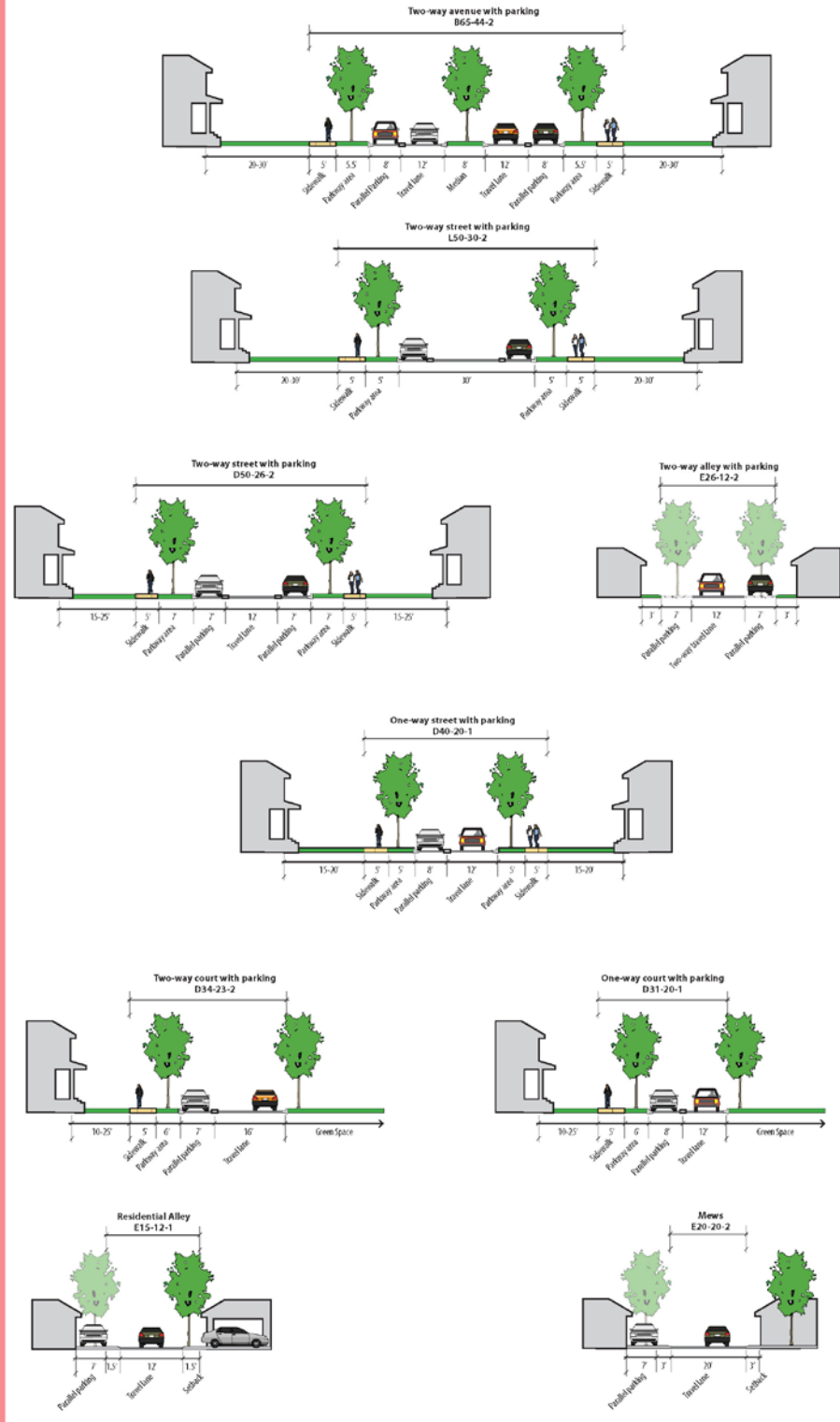


Collector B65-49-2



Street Cross Sections

North Shore Streets (Urban Neighborhood, New Neighborhood, & Rural Neighborhood) (North)



Transition Sections

